

# FIRE RISK ASSESSMENT

**Queens House  
105 Queens Street  
Sheffield  
S1 1GN**



**Q House Management Ltd**  
Universal Square,  
3<sup>rd</sup> Floor, Building 2,  
Devonshire Street North.  
Manchester. M12 6JH

**Live Safe Ltd**  
64 The Park,  
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W5 5NP



Certificate number 12650  
ISO 9001  
OHSAS 18001

September 2024  
DRAFT Version

# Fire Risk Assessment

Queens House  
September 2024



**Report Produced For:** Q House Management Ltd

**Report Produced By:** Andrew West

**Survey Date:** 14/08/2024

**Report Date:** 17/09/2024

	Name	Signature	Date
Assessed by	A.W.		17/09/2024
Prepared by	A.W.		17/09/2024
Checked & Reviewed by	A.W.		17/09/2024
Issue Status	<b>DRAFT</b>		
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Amendments			

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## Executive Summary

Priority	No. of Actions	SLA
Low	7	3 months from the date of the FRA
Medium	11	1 Month from the date of the FRA
High	5	2 Weeks from the date of the FRA

<b>Assessed Risk</b>	<b>Moderate</b>
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<b>Recommended Review</b>	On or Before 17 September 2025
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# 1. GENERAL INFORMATION

## 1.1 Scope of the report

This document has been prepared to report on the assessment of risks to life from fire in the common parts of the premises and, where appropriate, to make recommendations to ensure compliance with fire safety legislation. The assessment carried out to inform this report conforms to the description of a Type 1 fire risk assessment, as described in the Local Government Association guide: “Fire safety in purpose-built blocks of flats” in that a non-intrusive visual survey of the common areas of the premises were surveyed. No construction was opened-up during this survey and areas which were secured and therefore not accessible were not assessed. Any such areas are identified in the relevant section of this report.

The report does not address the risk to property or business continuity from fire.

This report constitutes neither a warranty of compliance nor an assurance against risk and represents the best judgement of the consultant who based its preparation in part, on the information provided by others.

There is no previous Fire Risk Assessment.

## 1.2 Building Details

The Regulatory Reform (Fire Safety) Order 2005 (the FSO) applies to any workplaces within the premises and any parts of the premises shared by the occupants of more than one dwelling, while the Housing Act 2004 applies to the insides of the individual dwellings.

## 1.3 Guidance documents relevant to the premises

Local Government Association: *Fire safety in purpose-built blocks of flats*. This guidance document is specifically written to help landlords, managing agents, enforcing officers and those undertaking fire risk assessments to understand the legislative requirements relating to blocks of flats and to apply them in a consistent and reasonable manner.

## 1.4 Legislation

This fire risk assessment has been compiled using the PAS 79 methodology alongside relevant current guidance and best practices. It is designed to help reduce the risks to a tolerable level.

**1.5 About the Assessor**

Name:	Andrew West
Qualifications:	BEng (Hons), MSc, C.Eng., MICE
Experience	<p>35 years' experience in the Construction Industry in all aspects of the design and construction of both low rise and high rise multi-storey residential buildings together with associated infrastructure.</p> <p>Initially trained and worked as a civil engineer in a Blue-Chip consulting practice. Involved / responsible for the design and construction management of numerous office buildings, the Pepsi Max Big One rollercoaster in Blackpool, numerous power stations all over the works (inc. the design life extension of Hinkley Point A nuclear power station), numerous contamination remediation schemes &amp; expert witness investigations.</p> <p>Design &amp; Management of numerous multi-discipline technical teams, for private developers, delivering both low rise and high-rise multi-occupation buildings.</p> <p>Head of Development &amp; Deliver for two large Housing Associations (each &gt; 50,000 homes).</p> <p>Group Head of Technical responsible for Building Safety for Home Group's portfolio of buildings, including FRA, external wall, internal compartmentation, fire door inspections and building safety cases.</p>

## 2. The Premises

### 2.1 Building Details

Name of the Business	Q House Management Ltd
Full address	Queens House, 105 Queen Street, Sheffield. S1 1GN
Number of floors	Basement, Ground + 5
Description	<p>The building comprises a former office building that has been converted into residential flats. The MAP is from Queens Street. There are also emergency exits via the basement and onto N. Church Street.</p> <p>There is a basement with access from Paradise Street.</p> <p>There are 99 apartments.</p>
Approximate Gross floor area (m <sup>2</sup> ):	6,500m <sup>2</sup> (residential areas only)
Construction Type	<p>RC frame with traditional blockwork &amp; brickwork external walls from ground to the 4<sup>th</sup> floor. Steel and composite slabs with aluminium cladding to the 5<sup>th</sup> floor apartments.</p> <p>There are also some spandrel panels to the ground floor windows.</p> <p>The construction details and are not known for the spandrel panels and the aluminium cladding.</p>
Does the premises have single or multiple occupancy?	Single

### 3. The Occupants

#### 3.1 Occupant Numbers

Approximate maximum number of occupants in the building	297 (assuming 2x persons & 1 visitor per flat)
Approximate number of employees at any one time	Zero.
Maximum number of members of public at any one time	None.
Do external contractors regularly work on the premises?	No.

#### 3.2 Use of the Premises

Residential accommodation. The tenure is unknown. It is also unknown if any of the apartments are used as Air B&B.

#### 3.3 Associated Times / Hours of Occupation

The accommodation may be occupied on a 24-hour 7 day a week basis.

#### 3.4 Occupants Especially as Risk

Are there any sleeping occupants on the premises?	Yes	
Is the premises used by anyone with a disability?	TBC	MCR have confirmed that there are no residents present with the building with disabilities.

## Fire Risk Assessment

Queens House  
September 2024



		A resident profile has not been viewed. Refuge points are not present in any of the stairwells.
Do young persons use the building (younger than 18 years old)	Yes	Families are present in the building.
Are there any other vulnerable persons especially at risk from fire?	Unknown	Please see above.

### 3.5 Fire Loss Experience

Unwanted fire calls in the past 12 months	Unknown.
Fires related incidents in the past 10 years	Unknown.



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## 4. FIRE HAZARDS AND THEIR ELIMINATION OR CONTROL

### 4.1 Electrical Sources of Ignition

		Comment
Are reasonable measures taken to prevent fires of electrical origin?	Yes	Maintenance records need to be provided for the communal and residents flats electrics, the active fire safety systems, any heating, the lifts and the car park ventilation.  There are no obvious signs of problems. Everything is very clean and tidy and looks maintained.
Are the fixed installations periodically inspected and tested?	Unknown	
Are portable appliances tested (PAT) within acceptable frequencies	N/A	No portable equipment was present during the inspection.
Is there a suitable policy regarding the use of personal electrical appliances?	Yes	A handover document is provided to the residents when they move that outlines the fire dangers of electrical appliances.
Are electrical leads and extension cables well managed and carefully positioned?	N/A	No extension cables were present at the time of the investigation.
<b>General comments:</b>		

### 4.2 Smoking

		Comment
Is smoking permitted on the premises	No	Smoking is not permitted within common areas of the building.

# Fire Risk Assessment

Queens House  
September 2024



Does smoking occur in areas that are not designated as smoking areas?	No	
Within designated smoking areas are smokers' materials disposed of safely?	N/A	
<b>General comments:</b>		

## 4.3 Arson

		Comment
Does basic security against arson by outsiders appear reasonable?	No	<p>Access into the common areas of the building is controlled with a fob. Access to the apartments is by lock and key.</p> <p>The MAP at the front of the building appeared to be permanently open allowing anyone to access.</p> <p>The fob access to the residential areas appeared had been disabled, allowing anyone to move throughout all areas of the building.</p> <p>Construction workers involved with the 3<sup>rd</sup> floor conversion are moving throughout the whole building.</p>
<b>General comments:</b>		



#### 4.4 Fixed & Portable Heating Provisions

		Comment
What fixed heating installations are used to heat the premises?		Electric heating (with MVHR) is provided to all flats.  The communal areas are unheated.
Are fixed heating installations subject to regular maintenance?	Unknown	This needs to be established.
Are additional portable heating appliances in use?	No	There are no portable heating appliances present.  It is possible that temp heating appliances will be used in the 3 <sup>rd</sup> floor construction works. Details of this are not available.
Is their use suitably controlled to minimise the risk of a fire to an acceptable standard?	N/A	The arrangements for maintenance of the heating systems are unknown and no records are available
<b>General comments:</b>		

#### 4.5 Cooking

	Comment
What type of cooking facilities are provided at the premises?	No communal cooking facilities.  Kitchens provided in individual apartments.  If any of the apartments are used for AirB&B then there should be additional precautions to reduce the risk of cooking fires.

## Fire Risk Assessment

Queens House  
September 2024



Are reasonable measures taken to prevent fires as a result of cooking?	N/A	
Are suitable extinguishing appliances available in the cooking facilities?	N/A	
<b>General comments:</b>		

### 4.6 Lightning

		Comment
Do the premises have a lightning protection system?	Yes	Lightening protection is provided to the building. This is being maintained and the maintenance certificate is presented in the appendix.
<b>General comments:</b>		

### 4.7 Housekeeping

		Comment
Is the standard of housekeeping adequate?	Yes	<p>The residential communal corridors were clear of any obstructions.</p> <p>Except for one location all the risers were clear. In the exception there were cleaning materials present, including flammable fluids.</p> <p>Generally, the housekeeping was very good.</p>
<b>General Comments</b>		



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**4.8 Furniture & Furnishings**

		Comment
Do furniture and furnishings meet FFFSR standards?	Yes	
<b>General comments:</b>		

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## 5. FIRE PROTECTION MEASURES

### 5.1 Means of Escape from Fire

		Comment
Is the premises provided with reasonable means of escape in case of fire?	Yes	
Are there enough exit routes for the number of people in the building?	Yes	
Are all exits easily and immediately openable where necessary?	Yes	
Are escape routes unobstructed?	Yes	
Are all travel distances within acceptable levels?	Yes	
Are there suitable fire provision for all inner rooms?	N/A	No inner rooms.
Are arrangements for means of escape for disabled people reasonable?	No	Assessed previously in Section 3.4.
Are external escape staircases and gangways subject to a suitable maintenance schedule?	N/A	None present.
<b>General Comments</b>		

**5.2 Measures to Limit Fire Spread & Development - Internal**

		Comment
Is the compartmentation of a reasonable standard?	Yes	<p>Compartmentation appeared competent. A visual inspection within the risers showed fire stopping was in place. All fire collars were present in the basement slab.</p> <p>The fire stopping was undertaken by a registered contractor as certificates are present.</p> <p>The fire stopping register has not been provided and this needs to be reviewed.</p>
Do walls provide suitable protection to escape routes?	Yes	There are no flammable materials along the escape routes.
Are fire doors in good condition, providing good compartmentation?	Yes	<p>A fire door survey has been undertaken of all the communal and flat front doors.</p> <p>This showed that none of the doors achieved the required fire resistance, and all need some form of repair.</p>
Are fire shutters in good condition, providing good compartmentation?	Not Applicable	None present.
Do ducts that pass- through fire separating walls have dampers fitted?	N/A	Ducts are present in the basement. The routing of these and any fire stopping / dampers could not be checked.
<b>General Comment</b>		

**5.3 Measures to Limit Fire Spread & Development - External**

		Comment
Are reasonable measures in place to prevent rapid fire spread across the external surfaces of the building?	Yes	The external wall construction is traditional masonry with glazing and spandrel panels. with what appears to be aluminium cladding to the top floor.  The construction of the spandrel panels and the aluminium cladding is unknown.
Has the outer face of the building been provided with an insulating cladding system?	No	
Is the external cladding system in a good state of repair, capable of resisting a fire from an external source?	Yes	
Are there features of the building construction which might assist a fire to spread vertically?	No	The temporary works and the storage of materials from the construction works may assist the spread of fire.
Are balconies present and are they constructed in such a way as to minimise the spread of fire from balcony to balcony?	No	
<b>General comments:</b>		

**5.4 Emergency Escape Lighting**

		Comment
Has a reasonable standard of emergency escape lighting been provided?	Yes	Emergency lighting provided on all floors at a reasonable spacing sufficient for emergency exit.

Cause & Effect known	Yes	Lighting comes on if there is a power failure,
Testing and maintenance	Provided	The latest commissioning certificate is to be provided in the Appendix.
<b>General comments:</b>		

**5.5 Fire Safety Signs & Notices**

		Comment
Is there a reasonable standard of fire safety signs and notices?	Yes	
<b>General comments:</b>		

**5.6 Means of Giving Warning in Case of Fire**

	Comment
What alarm system has been installed on the premises.	<p>The residential flats have individual smoke / heat detectors and sounders – LD3.</p> <p>The communal areas (inc. riser cupboards) have smoke detectors. There is a fire alarm panel in the entrance lobby</p> <p>There are manual breakglass points in the basement staircase lobbies. There</p>

# Fire Risk Assessment

Queens House  
September 2024



		are smoke detectors and alarms in the basement.  The strategy for the basement and the connection with the other systems seemed confusing.
Is the means of giving warning, in case of fire, appropriate for the occupancy and fire risk? <sup>1</sup>	Varies	Within the residential flats this this is acceptable.  The basement arrangements seem confusing. How is the basement linked to the other communal systems.  It is unknown of the fire panel is connected to a monitoring centre.
Cause & Effect known	Unknown	Please see the above
Are sound levels, of the alarm system, adequate throughout the premises?	Unknown	Test certification not observed.
Testing and maintenance	Yes	Commissioning certificates were available for the residential flat areas.
General comments:		

## 5.7 Manual Fire Extinguishing Appliances

		Comment
Is there reasonable provision of portable fire extinguishers?	N/R	
Are all fire extinguishing appliances readily accessible?	N/A	



Testing and maintenance	N/A	
<b>General comments:</b>		

### 5.8 Automatic Fire Extinguishing

		Comment
Is there automatic fire extinguishing on the premises?	No.	
Cause & Effect known	N/A	
Testing and maintenance	N/A	
<b>General comments:</b>		

### 5.9 Smoke Control

		Comment
Is there a smoke control system installed on the premises?	Yes	AOV at the head of all staircases. Automatic opening windows in the lobby areas adjacent to each protected staircase.  Both of the above are connected to smoke detectors in the communal corridors and lobbies.
What is the purpose of the smoke control system?	Yes	The smoke control system is designed to minimise smoke build up in the common areas of the building.

# Fire Risk Assessment

Queens House  
September 2024



		The smoke control is appropriate for the building.
Cause & Effect known	Yes	Unknown
Testing and maintenance	Provided	Commissioning & maintenance are not available.
<b>General comments:</b>		

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## 6. MANAGEMENT OF FIRE SAFETY

### 6.1 FIRE STRATEGY DOCUMENTATION / PROVISIONS

		Comment
What is the evacuation strategy for the building?		Stay put.
Who is responsible for the management of fire safety on the premises?	Not Known	Q. House Management Ltd.
Are there suitable arrangements for summoning the fire and rescue service?	Yes	Confused evacuation signs. They say that if a resident leave their flat due to a fire they should activate the manual breakglass points.  I am not sure of the reason for this or how it links to the fire strategy.
What arrangements have been made for ensuring that the premises has been evacuated?	Not Applicable	The building operates a stay put strategy.
Is there a suitable fire assembly point?	Yes.	The fire assembly points are clearly identified on site
Are there adequate procedures for evacuation of any disabled people who are likely to be present?	No	There are no refuges or call points present in any of the stairwells.  There are no notices warning visitors that it is their responsibility to ensure that they are to evacuate in the event of a fire.
Are there routine in- house inspections of fire precautions?	Unknown	Details were not provided of the routine inspections.
Is a suitable defect reporting system in place\	Unknown	No details were provided.
<b>General comments:</b>		

## 7. FIRE SERVICE ACCESS & INFORMATION

### 7.1 Information for the Fire Service

		Comment
Is an information pack available for handover to the fire service?	No	A fire box was present in the MAP lobby. However, access to this was not possible.
Is information available on the luminous discharge (neon) signs?	N/A	No luminous signs are present on site.
Is information available on the photovoltaic generating system?	N/A	No PV.
<b>General comments:</b>		

### 7.2 Access & Water Supply

		Comment
Is vehicular access for the fire service acceptable?	Yes	
Are local water supplies sufficient for firefighting?	Yes	
<b>General comments</b>		

**7.3 Maintenance of Facilities, Equipment & Devices Provided for Firefighting**

		Comment
Rising Mains	Yes	Dry risers are present.
Fire-fighting lifts	No	None present.
Testing and maintenance	Provided	Dry riser maintenance certification were not available. These need to be viewed to ensure maintenance is being undertaken.
<b>General comments:</b>		

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## 8. Risk Assessment

Fire Risk Assessment									
<b>Queens House</b> 105 Queens Street Sheffield S1 1GN		Date of Survey: 14/09/2024 Assessed By: Steve Wood Date of Assessment: 17/09/2024 Reviewed By: Steve Diggins Date of Review: 17/09/2024	Revisions:						
<b>Risk Matrix</b>									
Factors	Potential Hazards	RISKS	Risk Assessment			Control Measures	Residual Risk		
			L	S	IR		L	S	RR
Occupants	Rescue not known. Not known if any apartments are being used for HBBAS	The responsibility for managing maintenance needs to be established and clear. All B&B will need to have additional fire safety measures.	2	3	Low	Makes sure that there is an up to date rescue profile and that it is:	1	3	Low
	Unknown if there are any residents with Disabilities or Vulnerabilities	Risk that disabled and vulnerable residents & visitors may not be able to evacuate	3	3	Medium	Resident profile to be established Proxies to be provided to address residence that they are responsible for the evacuation of any visitors with disabilities or vulnerable abilities Proxies to be provided in each lobby utilising the above.	1	3	Low
Fire Loss Experience	Unknown records	Risk of arson or fire increased	2	4	Medium	Obtain records	1	4	Low
Fire Hazards	Electrical commissioning certificates for the Communal and residential areas is not available.	Risk of fire ignition	2	3	Medium	Obtain the certificate	1	3	Low
	Maintenance certificates for all the active fire safety systems, the lifts and the car park ventilation are not available.	There is an increased risk of fire ignition if maintenance is not being regularly undertaken.	3	3	Medium	Certificates required	1	3	Low
	There is limited access control to the residential areas. Anyone could 'bump' a resident into the building and then would have full access everywhere.	Risk of fire ignition	2	3	Medium	Re-engage the fire access.	1	3	Low
	Commissioning and maintenance of the residential heating systems is not available.	Risk of fire ignition	2	3	Low	Carriage required.	1	3	Low
	Maintenance records / certificates are not available for the lighting protection, so it is not known if it is fully functioning.	Risk of fire ignition	2	3	Low	Certificate required.	1	3	Low
	Flammable cleaning products were present in one of the ground floor risers.	Risk of fire ignition	2	2	Low	Remove cleaning products.	1	2	Low
Fire Protection Measures	The potential use of some of the flats as AirB&B	Risk of fire ignition	2	3	Low	Rescue register required	1	3	Low
	None of the Fire Doors reach the required standard.	Risk of Fire Spread	5	5	High	Fire doors to be repaired.	1	5	Low
	A fire stopping register needs to be checked together with any compensating work for the fire doors or gaps between them.	Risk of Fire Spread	2	4	Medium	Documents to be checked.	1	4	Low
	Construction of the opened panels adjacent to the windows needs to be established to ensure that there is no risk of fire spread.	Risk of Fire Spread	2	3	Low	External wall construction to be investigated and assessed.	1	3	Low
	Construction of the aluminium cladding the fifth floor needs to be established to ensure that there is no risk of fire spread.	Risk of Fire Spread	2	2	Low	External wall construction to be investigated and assessed.	1	2	Low
	The performance of the emergency lighting is unknown	Risk of delayed evacuation	3	3	High	Certification to be provided.	1	3	Low
	The basement fire arrangements are confusing. It is not known how they are connected to the other communal systems. It is unclear if the smoke detection system in the communal areas is fully connected to the ADP or they are connected to the fire panel, which is again connected to an external monitoring service.	Risk of delayed evacuation and Risk of Fire Spread	4	5	High	Clarification needed. Cause & effect needs to be provided.	1	5	Low
	Maintenance records and the Cause & Effect for the ADP's needs to be provided.	Risk of delayed evacuation and Risk of Fire Spread	3	4	High	Commissioning certificate to be provided.	1	4	Low
	Commissioning certificate for the residential alarms was not available (inc. confirmation of the sound levels).	Risk of delayed evacuation and Risk of Fire Spread	4	4	High	Commissioning certificate to be provided.	1	4	Low
	Details of routine in-house fire precaution inspections were not available.	Risk of fire, risk of fire spread, risk to means of escape.	3	3	Medium	House-keeping records to be made available to ensure all house-keeping is being undertaken.	1	3	Low
The fire evacuation signage is confusing.	Risk of delayed evacuation.	3	3	Medium	Evacuation systems needs to be clarified and the signage changed if necessary.	1	3	Low	
Information for the Fire Service	Details of the fire alarm management procedures were not known. It cannot therefore be determined if any changes that could affect the protection was being managed.	Increased risk of fire spread and evacuation.	3	3	Medium	Details to be provided.	1	3	Low
	Contents of the fire box could not be assessed for suitability	Risk that the FRS will be delayed.	2	3	Medium	Fire Box to be opened. If an EFRP is not present one should be provided. This is a relatively complex site and it is easy to get lost within the building.	1	3	Low
	Dry riser maintenance records need to be provided	Risk that the FRS will be delayed.	2	4	High	Dry riser maintenance records need to be provided.	1	4	Low

2.8 3.3 100%

2.8 3.3 100%



## 9.0 PREMISES FIRE RISK RATING

The following simple fire risk level estimator is based on a commonly used health and safety risk level estimator:

Likelihood	Potential Consequences		
	Slight harm	Moderate harm	Severe harm
Low	Trivial	Tolerable	Moderate
Medium	Tolerable	Moderate	Substantial
High	Moderate	Substantial	Intolerable

A suitable risk-based control plan should involve effort and urgency that is proportional to risk. The following risk-based control plan is based on one that has been advocated for general health and safety risks:

Risk Level	Action and Timescale
Trivial	No action is required and no detailed records need to be kept.
Tolerable	No major additional fire precautions required. However, there might be a need for reasonably practicable improvements that involve minor or limited cost.
Moderate	It is essential that efforts are made to reduce the risk. Risk reduction measures, which should take cost into account, should be implemented within a defined time period. Where moderate risk is associated with consequences that constitute extreme harm, further assessment might be required to establish more precisely the likelihood of harm as a basis for determining the priority for improved control measures.
Substantial	Considerable resources might have to be allocated to reduce the risk. If the premises are unoccupied, it should not be occupied until the risk has been reduced. If the premises are occupied, urgent action should be taken.
Intolerable	Premises (or relevant area) should not be occupied until the risk is reduced.

## 8.1 Likelihood of Fire

Taking into account the fire prevention measures observed at the time of this risk assessment, it is considered that the hazard from fire (likelihood of fire) at these premises is:

### **Medium**

There is a low likelihood of fire because of negligible potential sources of ignition.

## 8.2 Impact of Fire

Considering the nature of the premises and the occupants, as well as the fire protection and procedural arrangement observed at the time of this fire risk assessment, it is considered that the consequences for life safety in the event of fire would be:

### **Moderate Harm**

An outbreak of fire could foreseeably result in injury (including serious injury) of one or more occupants, but it is unlikely to involve multiple fatalities.

## 8.3 Summary of Risk Rating

Accordingly, it is considered that the risk to life from fire at these premises is:

### **Moderate**

No major additional fire precautions required. However, there might be a need for reasonably practicable improvements that involve minor or limited cost.

## 8.4 Recommended Review

It is recommended that this fire risk assessment is reviewed in 12 months time to assess progress.

Once the various remedial actions are completed, the recommended review period may be extended if appropriate.

**Appendix A**  
**Fire Door Survey Results**  
**To Follow**

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**Appendix B**  
**Photographs**

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Queens House  
September 2024



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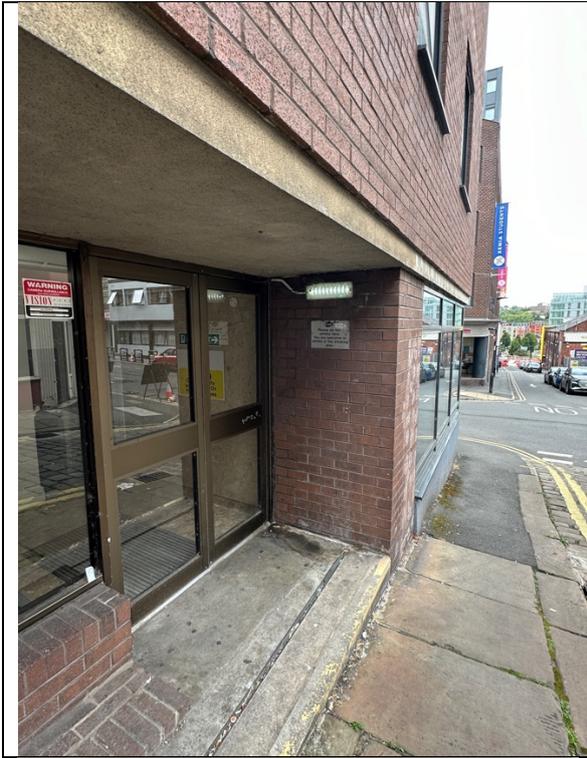
Queens House  
September 2024



Certificate number 12650  
ISO 9001  
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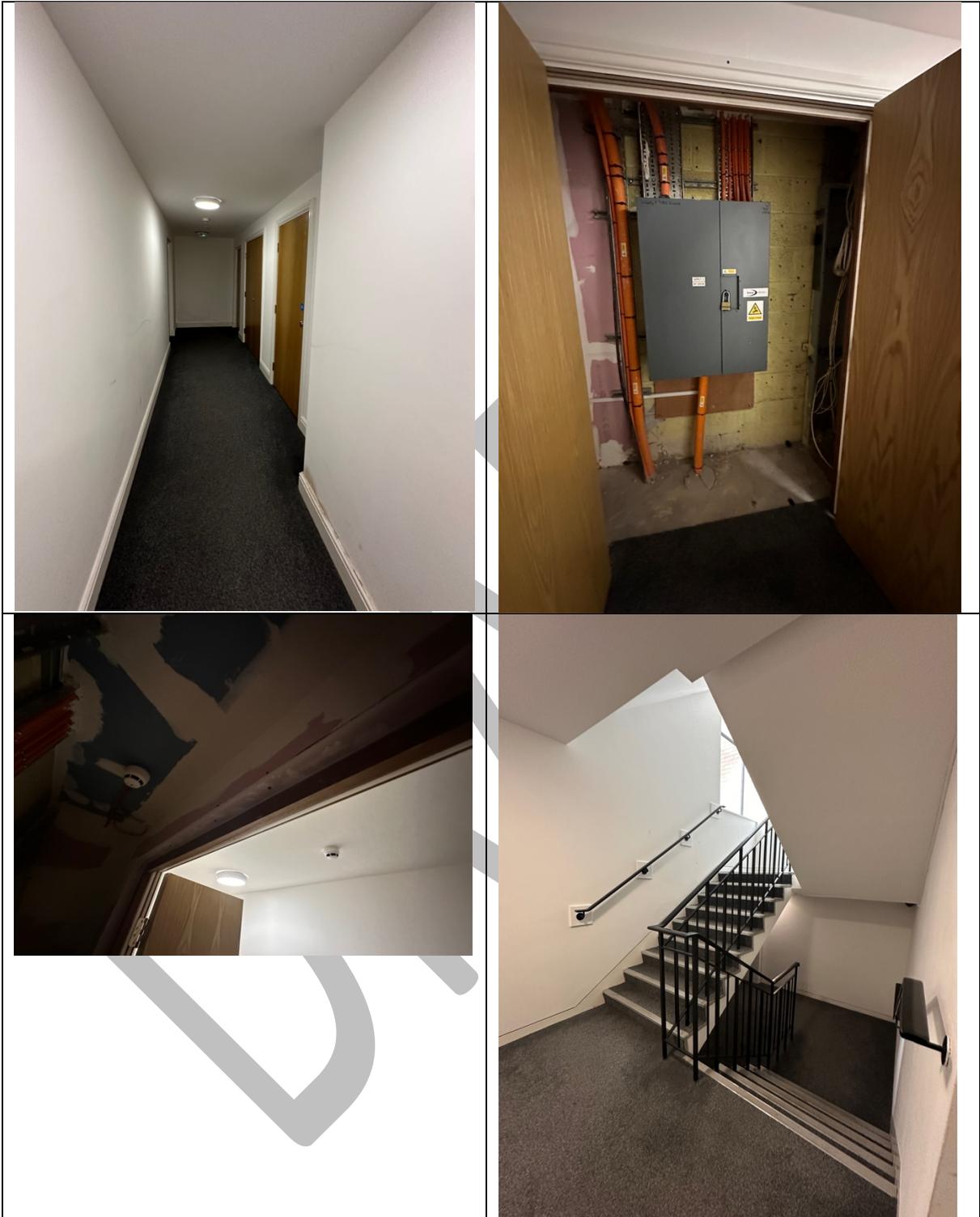
Queens House  
September 2024



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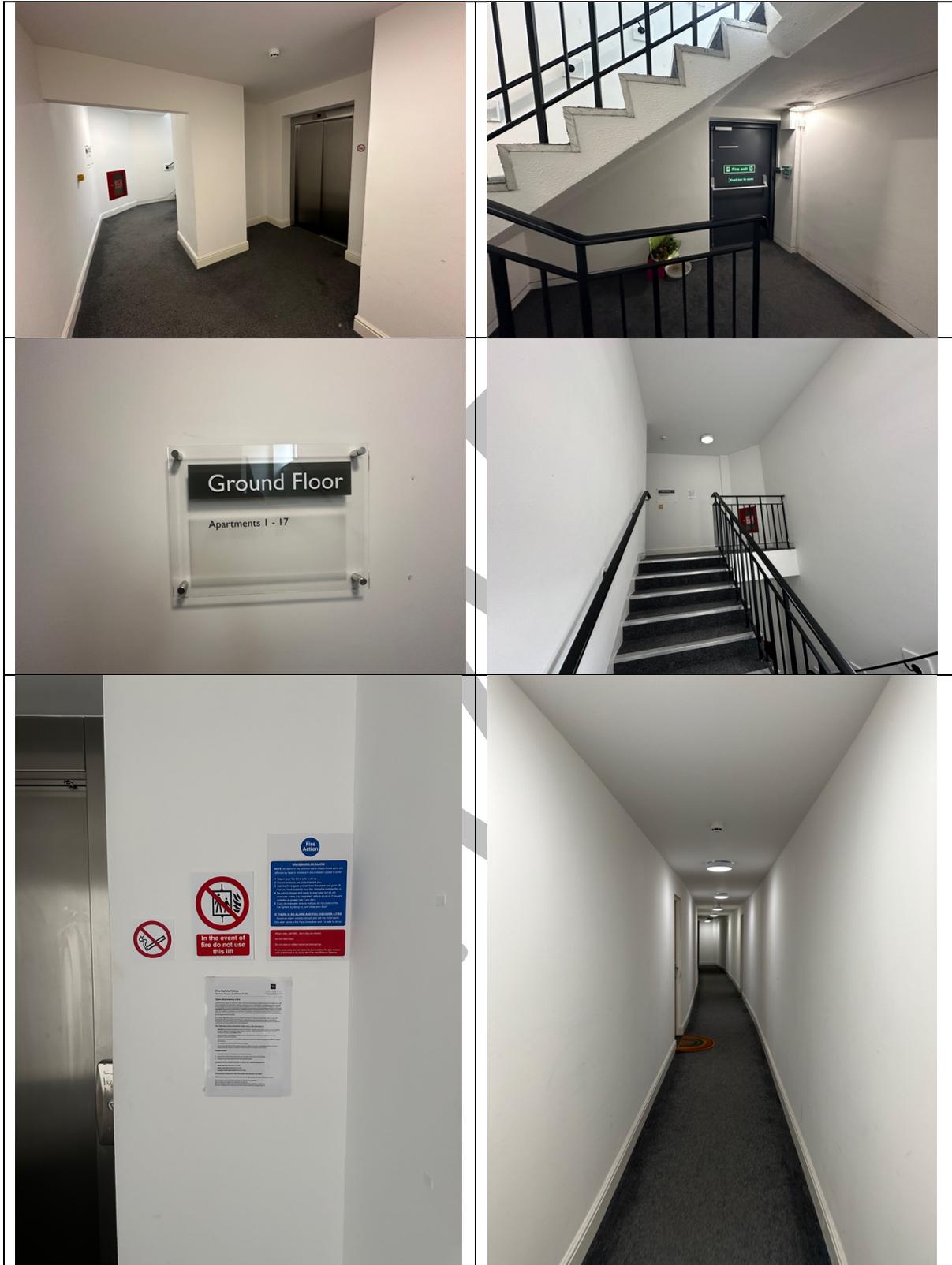
Queens House  
September 2024



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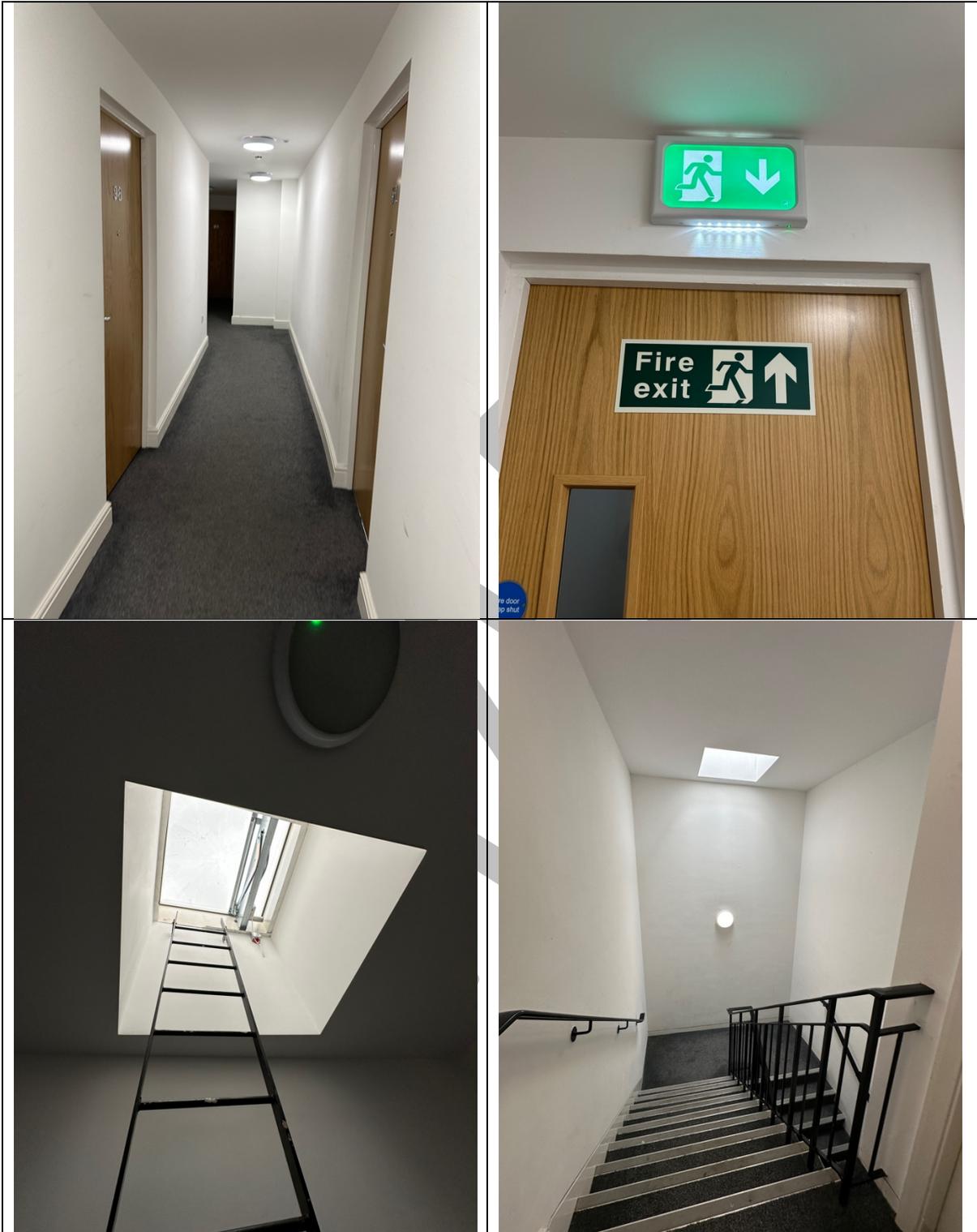
Queens House  
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# Fire Risk Assessment

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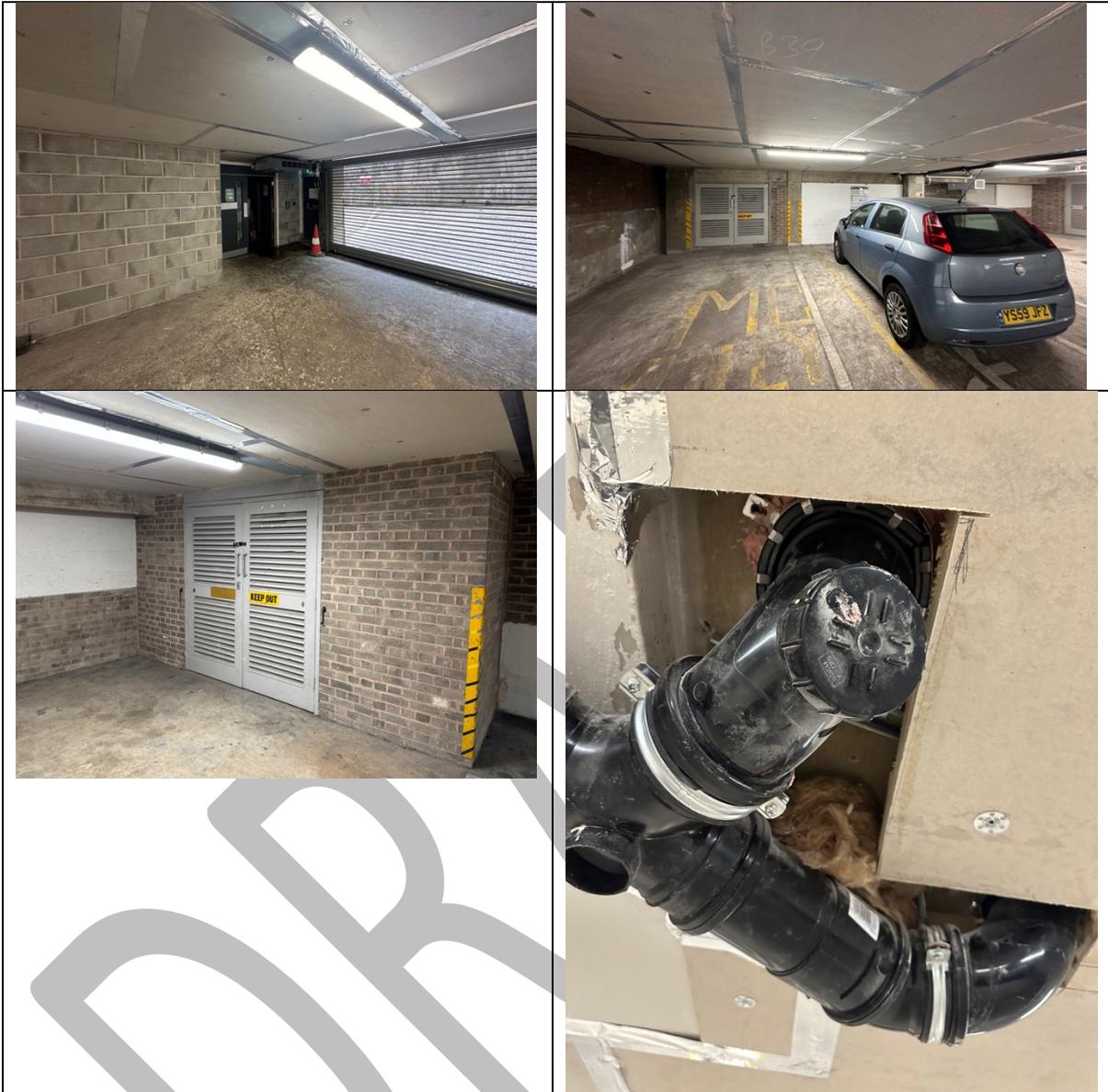
Queens House  
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Certificate number 12650  
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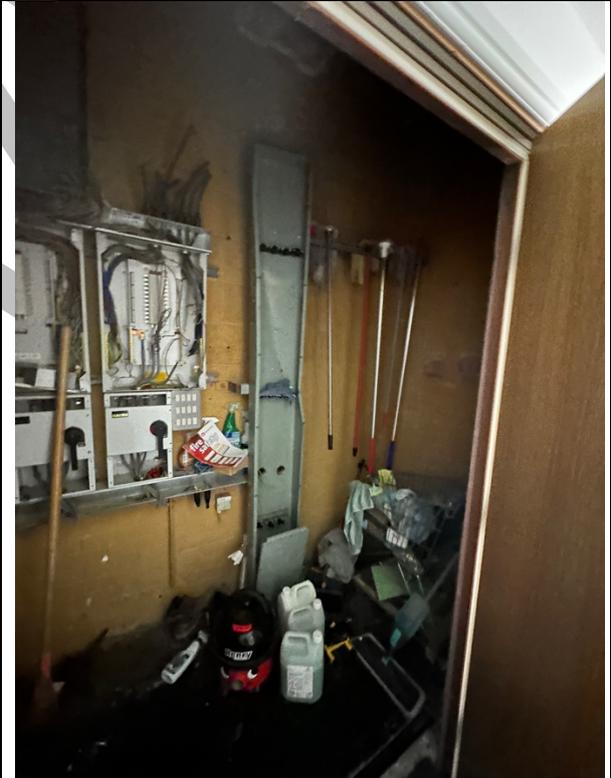
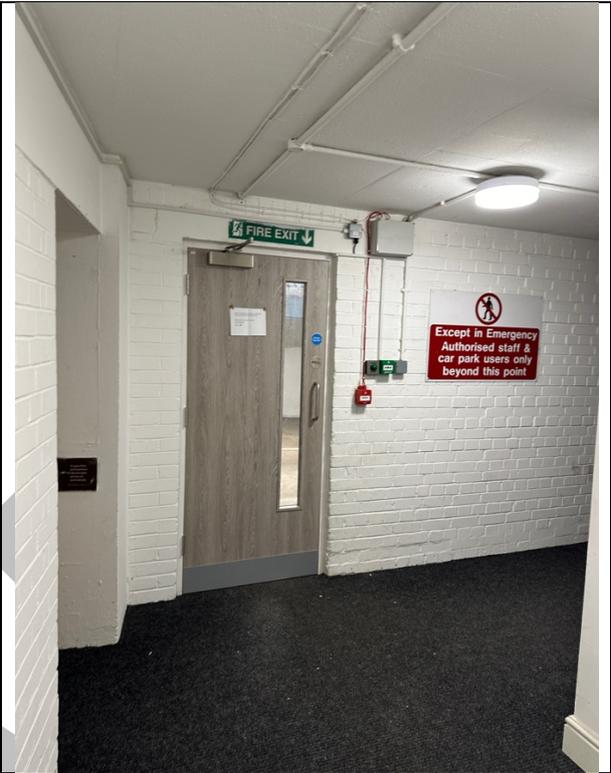
Queens House  
September 2024



Certificate number 12650  
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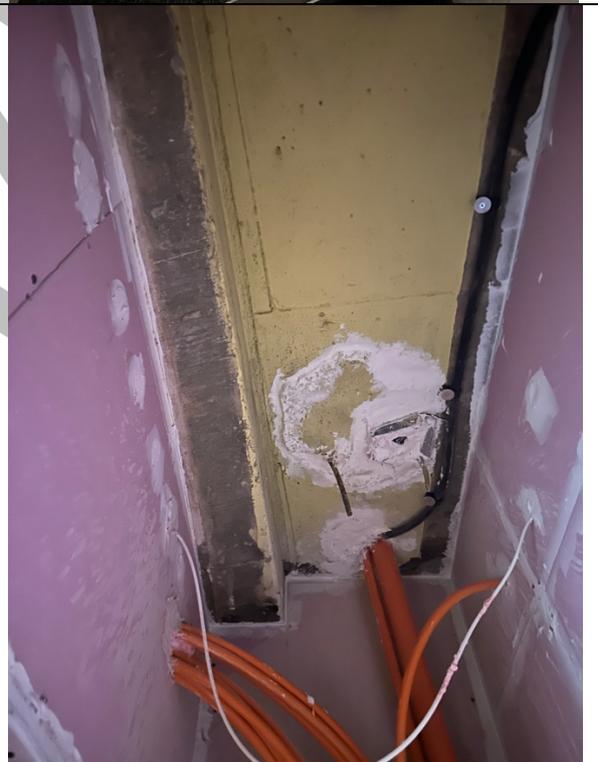
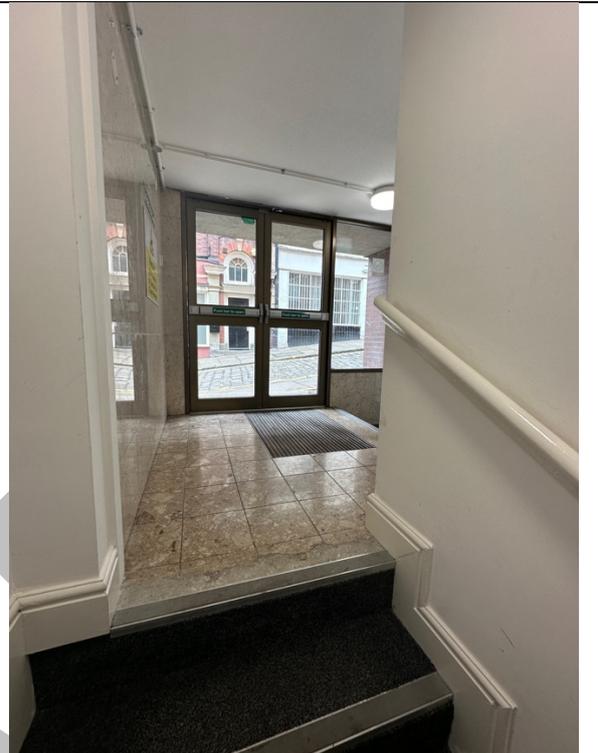
Queens House  
September 2024



Certificate number 12650  
ISO 9001  
OHSAS 18001

# Fire Risk Assessment

Queens House  
September 2024



Certificate number 12650  
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OHSAS 18001

# Fire Risk Assessment

Queens House  
September 2024



DRAFT



Certificate number 12650  
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**Fire Risk Assessment**

Queens House  
September 2024



DRAFT



Certificate number 12650  
ISO 9001  
OHSAS 18001

**Appendix C**  
**Fire Strategy & Plans**

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## **Appendix D**

### **Latest Commissioning Certificates and Management Arrangements**

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